

ALTA/ACSM LAND TITLE SURVEY

DESCRIPTION PROVIDED:

A parcel of land formerly being a part of the Illinois Central Railroad Company's station grounds in Monroe, in the West 1/2 of the Northwest 1/4 of Section 35, Town 2 North, Range 7 East, of the Fourth Principal Meridian, bounded and described as follows:

Commencing at the Northeast corner of the Northwest 1/4 of the Northwest 1/4 of said Section 35; thence South along the centerline of Highway No. 69, a distance of 247' to a point in the centerline of the Illinois Central Railroad Company's main track; thence S36°W along said centerline of main track 331'; thence S54°E, 22' to the point of beginning; thence continuing such S54°E, 50'; thence S36°W, 100'; thence S54°E, 3.75'; thence S36°W, 211'; thence N54°W, 53.75' to a point 22' Southeasterly from said centerline of main track, measured at a right angle thereto, said point being opposite Valuation Station 1190+03.9 on said Railroad Company's Madison District, (said point also being 66.3' Northeasterly from the intersection of said centerline of main track and the East and West centerline of said Northwest 1/4 of the Northwest 1/4 of Section 35 as measured along said centerline of main track); thence N36°E parallel with and 22' perpendicularly distance Southeasterly from said centerline of main track 311', more or less, to the point of beginning.

All being part of Outlot 63 in the Northwest 1/4 of Section 35, Town 2 North, Range 7 East, City of Monroe, Green County, Wisconsin.

TO: National City Bank of Pennsylvania, its successors and assigns, Convergent Capital Partners I, L.P. and Medallion Capital, Inc., as their respective interests may appear, Ekum Abstract & Title, First American Title Insurance Company and Wisconsin Cheese Group, Inc., successor by merger with WCG Acquisition, Inc.:

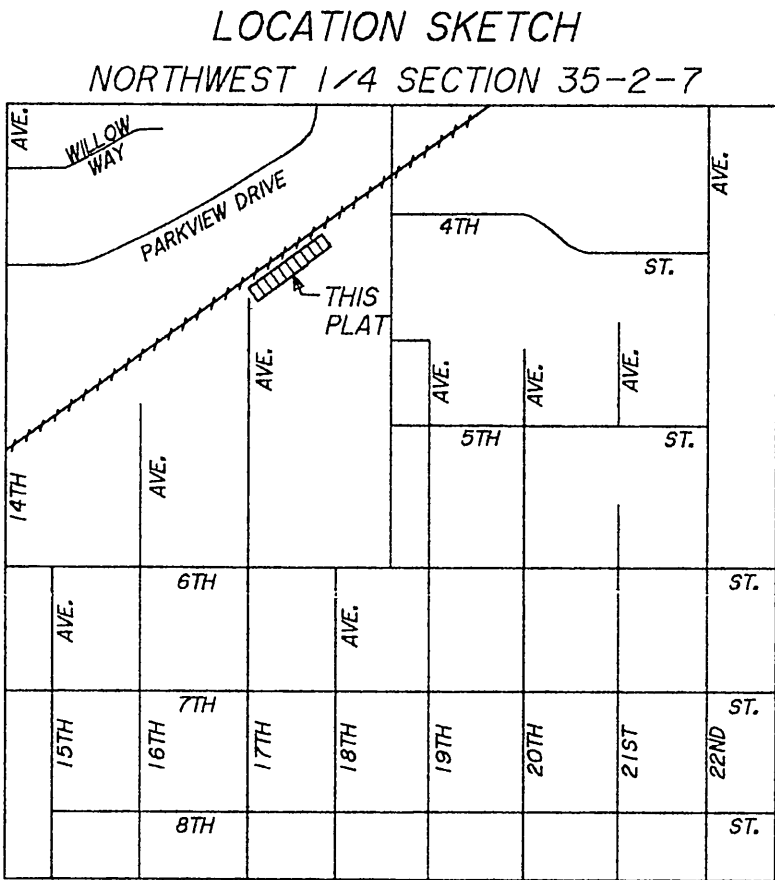
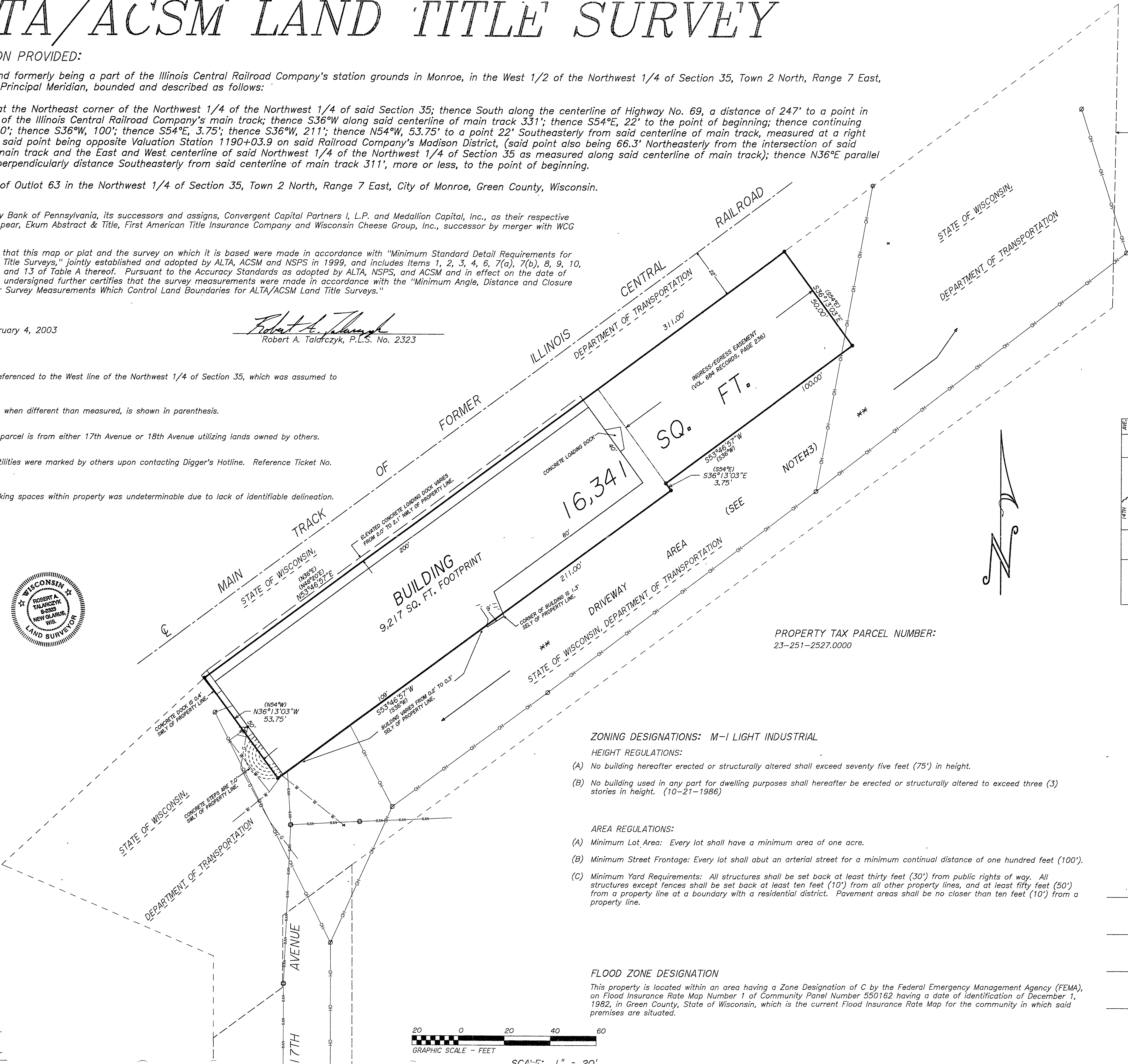
This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 2, 3, 4, 6, 7(a), 7(b), 8, 9, 10, 11(a), 11(b), 12 and 13 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

February 4, 2003

Robert A. Talarczyk
Robert A. Talarczyk, P.L.S. No. 2323

NOTES:

- 1.) Bearings are referenced to the West line of the Northwest 1/4 of Section 35, which was assumed to bear South.
- 2.) Recorded data, when different than measured, is shown in parenthesis.
- 3.) Access to this parcel is from either 17th Avenue or 18th Avenue utilizing lands owned by others.
- 4.) Underground utilities were marked by others upon contacting Digger's Hotline. Reference Ticket No. 8361537.
- 5.) Number of parking spaces within property was undeterminable due to lack of identifiable delineation.



LEGEND:

- 3/4" solid round iron rebar found.
- ⊙ Manhole
- ⊘ Power Pole
- ✱ Light Pole
- ✱ Water Valve
- Gas Meter
- OH—OH— Overhead Power Line
- W—W— Water Line
- G—G— Underground Gas Line
- SAN—SAN— Sanitary Sewer Line

ZONING DESIGNATIONS: M-1 LIGHT INDUSTRIAL

HEIGHT REGULATIONS:

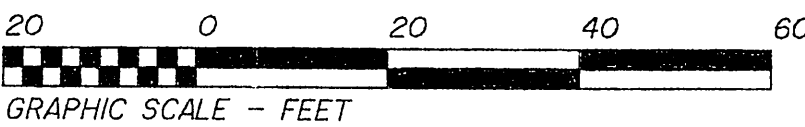
- (A) No building hereafter erected or structurally altered shall exceed seventy five feet (75') in height.
- (B) No building used in any part for dwelling purposes shall hereafter be erected or structurally altered to exceed three (3) stories in height. (10-21-1986)

AREA REGULATIONS:

- (A) Minimum Lot Area: Every lot shall have a minimum area of one acre.
- (B) Minimum Street Frontage: Every lot shall abut an arterial street for a minimum continual distance of one hundred feet (100').
- (C) Minimum Yard Requirements: All structures shall be set back at least thirty feet (30') from public rights of way. All structures except fences shall be set back at least ten feet (10') from all other property lines, and at least fifty feet (50') from a property line at a boundary with a residential district. Pavement areas shall be no closer than ten feet (10') from a property line.

FLOOD ZONE DESIGNATION

This property is located within an area having a Zone Designation of C by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map Number 1 of Community Panel Number 550162 having a date of identification of December 1, 1982, in Green County, State of Wisconsin, which is the current Flood Insurance Rate Map for the community in which said premises are situated.



SCALE: 1" = 20'

JOB NO. 02204
POINTS 98078
DRWG. 02204C
CHECKED *AT*
DF BY MST

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