ALTA/ACSM LAND TITLE SURVEY

DESCRIPTIONS PROVIDED

The South 1/2 of the Southwest 1/4 of Section 36, Town 2 North, Range 9 East, Green County, Wisconsin, which includes Lot 1 of Certified Survey Map No. 515 as recorded in Volume 2 of Certified Survey Maps of Green County on Page 44 of the office of the Register of Deeds for Green County, Wisconsin. EXCEPT land deeded for highway purposes as recorded in Volume 251 of Records, Page 411; and ALSO EXCEPTING a parcel of land in the Southwest 1/4 of the Southwest 1/4 of Section 36, Town 2 North, Range 9 East and described as follows: Beginning at the Northwest corner of the Southwest 1/4 of the Southwest 1/4 of Section 36, Town 2 North, Range 9 East; thence South along said Section line, 410' to the North right-of-way line of State Highway 11; thence Northeasterly along said North right-of-way line, 670' to the North line of the Southwest 1/4 of the Southwest 1/4 of Section 36; thence West along said North line, 520' to the point of beginning.

A parcel of land in the Southeast 1/4 of the Southeast 1/4 of Section 35, Town 2 North, Range 9 East and described as follows: Beginning at the Southeast corner of Section 35, Town 2 North, Range 9 East; thence North along said Section line, 570' to the South right-of-way line of State Highway 11; thence Southwesterly along said right-of-way line, 840' to the South Section Line of Section 35, Town 2 North, Range 9 East; thence East along said Section Line, 615' to the point of beginning.

That part of the Northwest 1/4 of the Southwest 1/4 lying South of the right-of-way line of State Highway 11. in Section 36, Town 2 North, Range 9 East; consisting of one acre more or less.

TO: Kuhn-Knight, Inc., Chicago Title Insurance Company and Ekum Abstract & Title:

This is to certify that this map or plat and the survey on which it is based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999, and includes Items 1, 3, 4, 6, 7(a), 8, 9, 10, 11(a), 11(b) and 12 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

1.) Bearings are referenced to the South line of the Southwest 1/4 of Section 36, which was assumed to bear N89°46'17"W.

2.) Recorded data, when different than measured, is shown in parenthesis.

3.) Underground utilities were marked by others upon contacting Digger's Hotline. 4.) This property has no WiDOT approved direct vehicular access to State Trunk Highway 11.

5.) This property is located within an area having a Zone Designation of C by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 135, with a date of identification of September 15, 1983, for Community No. 550157 0135 B, in Green County, State of Wisconsin, which is the current Flood Insurance Rate Map for the community in which said premises is situated.

HIGHWAY INTERCHANGE ZONING

SETBACK, HEIGHT AND BULK RESTRICTIONS

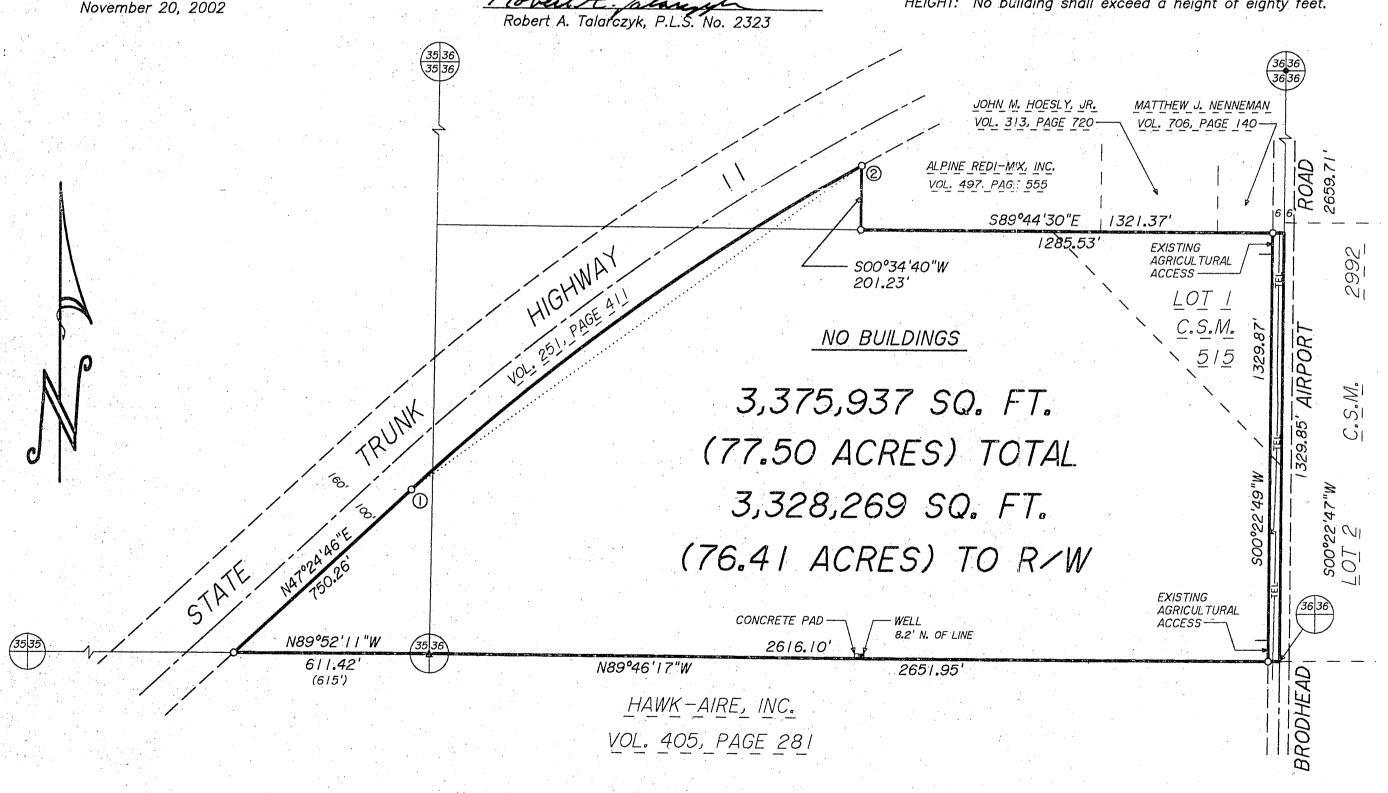
HIGHWAY SETBACK: The setback for State Trunk Highways shall be one hundred and ten feet from the centerline of such highway or fifty feet from the right-of-way line, whichever is greater. The setback for County Trunk Highways shall be seventy five feet from the centerline of such highway or forty two feet from the right-of-way line, whichever is greater. The setback for Town Roads shall be sixty three feet from the centerline of such road or thirty feet from the right-of-way line, whichever is greater.

SIDE YARD FOR BUILDINGS USED IN WHOLE OR IN PART FOR RESIDENTIAL PURPOSES: The aggregate width of the side yards for the main building shall be not less than twenty five feet and no single yard shall be less than ten feet wide; provided further, that the highway setback regulations shall apply to all corner lots. The minimum permitted side yard for an accessory building shall be three feet, provided the accessory building is located a minimum of five feet to the rear of and is detached from the main building. When an accessory building is attached or connected to the main building, they shall be considered to be as one and the aforementioned conditions shall rule.

SIDE YARD FOR BUILDINGS USED FOR COMMERCIAL OR INDUSTRIAL PURPOSES: There shall be a side yard not less than eight feet wide on each side of any lot and such side yard shall be permanently maintained in grass, shrubs or trees and shall not be used for parking, storage or driveways.

REAR YARD FOR BUILDINGS USED IN WHOLE OR IN PART FOR RESIDENTIAL PURPOSES: There shall be a rear yard of not less than twenty five feet in depth for any main building. Accessory buildings shall be provided with a minimum rear yard of not less than three feet. REAR YARD FOR BUILDINGS USED FOR COMMERCIAL OR INDUSTRIAL PURPOSES: There shall be a rear yard of not less than twenty feet in depth on any lot and such yard shall be permanently maintained in grass, shrubs or trees and shall not be used for parking, storage or driveways.

HEIGHT: No building shall exceed a height of eighty feet.





LEGEND:

Concrete monument with brass cap found.

P.V.C. monument with brass cap found

3/4" solid round iron rebar found.

7/8" X 24" solid round iron rebar set.

Telephone ped.

Underground telephone line.

CURVE DATA

13°11'00'

CURVE RADIUS LENGTH DELTA

1734.77

7539.44

CH.BEARING N54°00'16"E

CHORD

1730.94

GRAPHIC SCALE - FEET SCALE: | " = 300

JOB NO. 02160 POINTS 02160B DRWG. 02160B CHECKED KAT DRAWN BY MST/RAT Talarczyk & assoc., inc. W5105 KUBLY ROAD P.O. BOX 235 NEW GLARUS, WI 53574 PHONE 608/527-5216 FAX 608/527-5357